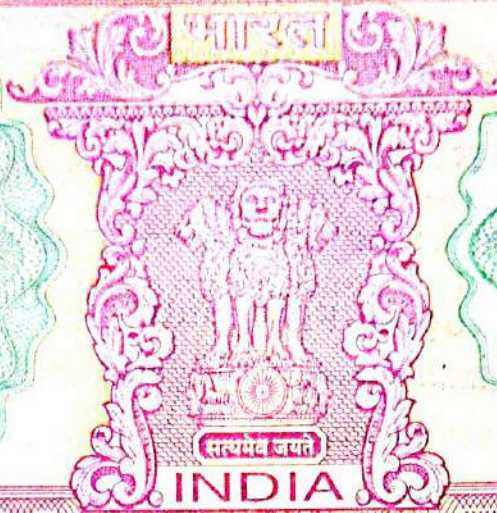


6341/18

J-05377/18

भारतीय गैर न्यायिक

पचास
रुपये
रु.50



FIFTY
RUPEES
Rs.50

INDIA NON JUDICIAL

पश्चिमबङ्ग पश्चिम बंगाल WEST BENGAL

1605-1000228098/18

X 268538



[Handwritten Signature]

10 AUG 2018

DEVELOPMENT POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS that We, SMT. SUSAMA ROY, (PAN-AJBPR7380J), wife of Late Chitta Ranjan Roy, by faith Hindu, by occupation housewife, 2) SRI SANJOY ROY, (PAN- AJBPR7379D), son of Late Chitta Ranjan Roy, by faith Hindu, by occupation business, 3) SRI MRITYUNJOY ROY, (PAN-ADUPR9265M), son of Late Chitta Ranjan Roy,

[Handwritten Signature]
10.8.18 2.00.

089810

SWAPAN KUMAR DAS
Advocate

Sl. No.Solu to... High Court, Calcutta


Address.....

A. K. Maity
Licensed Stamp Vendor

10, Old Post Office Street

Kolkata - 700001

Rs. 50/- (Rupees Fifty) only

Issue Date:....., Sign. 

9 AUG 2018



Addl. Dist. Sub-Registrar
Alipore
10 AUG 2018
South 24 Parganas
Kolkata-700027

Swapan Kumar Das
S/o Late S Das
6, Baker Row
Kolkata-27
P.S & P.O. - Alipore

by faith Hindu, by occupation business and 4) SRI SANJIB ROY, (PAN-AJBPR7382L) son of Late Chitta Ranjan Roy, by faith Hindu, by occupation business - all residing at Premises No. 46/9/1, Ballygunge Place, Police Station Gariahat, Post Office Ballygunge, Kolkata-700019 hereinafter referred to as the OWNERS /EXECUTANTS" SEND GREETINGS:-

W H E R E A S We , the Owners herein are the Joint Owners of All that piece or parcel of land measuring 10 (ten) Cottahs 5 (five) Chittacks more or less lying and situated under Mouza Dakshin Ballygunge, Touzi No. 1298 within the District Collectorate of 24 Parganas under Government Khas Mahal Dihi Panchannagram, Grand Division V, Sub Division I, Being Holding No. 123, formerly Thana Ballygunge, Sub Registration Office at formerly Sealdah at present Alipore, known and numbered as Premises No. formerly 14, Dihi Srirampore Lane subsequently 46/9, Ballygunge Place Lane in the records of The Calcutta Municipality at present renumbered as Premises No. 46/9/1, Ballygunge Place, Police Station Gariahat, under Ward No. 68, being Assessee No. 110680402711 within the limits of The Kolkata Municipal Corporation, Kolkata- 700019, in the formerly District of 24 Parganas at present District 24 Parganas South as morefully and particularly mentioned and described in the Schedule hereunder written. We the Owners/Executants, have entered into a Registered Development Agreement dated. 1.0.08.18...with GRIHO NIRMAN ASSOCIATES a Partnership Firm having its principal office at 82/7H, Ballygunge Place, at present 82/9A, Ballygunge Place, Police Station Gariahat, Post Office Ballygunge, Kolkata-700 019 therein represented by its partners SRI ASHOKE KUMAR ROY son of Late Hirendra Lal Roy by faith Hindu, by occupation Business residing at the premises No. 1/1A, Jamini Roy Sarani (formerly Ballygunge Place East) , Police Station Gariahat, Post Office Ballygunge , Kolkata-700 019 and SRI ARJUN SINGH son of Late Shyamji

Singh by faith Hindu, by occupation Business residing at the premises No. 82/8A, Ballygunge Place, Police Station Gariahat, Post Office Ballygunge, Kolkata-700 019 in the District of South 24-Parganas (therein referred to as the Promoters/ Developers) for construction of a new building at the said premises with certain terms and condition as set forth therein and the said Development Agreement was duly registered in the Office of Additional District Sub-Registrar at Alipore 24 Parganas South and recorded in Book No. I, Deed No. ~~5369~~..... for the year 2018 and to give effect of the said Agreement for smooth progress of construction and other related matters and things. We feel it necessary and urgent to appoint the aforesaid Partner of GRIHO NIRMAN ASSOCIATES as our Attorney in our name and on our behalf and as such we , the Owners/Executants hereto, do hereby nominate constitute and appoint SRI ARJUN SINGH son of Late Shyamji Singh by faith Hindu, by occupation Business residing at the premises No. 82/8A, Ballygunge Place, Police Station Gariahat, Post Office Ballygunge, Kolkata-700 019 in the District of South 24-Parganas to be our True and Lawful ATTORNEY for us, in our names and on our behalf to do, execute and perform or cause to be done, executed and performed inter-alia or any of the following acts, deeds and things, that is to say:-

1. To look after, manage, control, supervise and develop our property of which we , the Executants hereto, are the Joint Owners in respect of All that piece or parcel of land measuring 10 (ten) Cottahs 5 (five) Chittacks more or less lying and situated under Mouza Dakshin Ballygunge, Touzi No. 1298 within the District Collectorate of 24 Parganas under Government Khas Mahal Dihi Panchannagrami, Grand Division V, Sub Division I, Being Holding No. 123, formerly Thana Ballygunge, Sub

Registration Office at formerly Sealdah at present Alipore, known and numbered as Premises No. formerly 14, Dihi Srirampore Lane subsequently 46/9, Ballygunge Place Lane in the records of The Calcutta Municipality at present renumbered as Premises No. 46/9/1, Ballygunge Place, Police Station Gariahat, under Ward No. 68, being Assessee No. 110680402711 within the limits of The Kolkata Municipal Corporation, Kolkata- 700019, in the formerly District of 24 Parganas at present District 24 Parganas South as morefully and particularly mentioned and described in the Schedule hereunder written.

2. To enter into the said premises and to develop the same for construction of building at the said premises after demolishing the old existing structures and to that effect to engage and/or appoint Engineer and /or Architect and thereby to prepare Building Plan through Engineer and to sign the same for necessary sanction before the Kolkata Municipal Corporation and also to sign in modified plan and other necessary papers as would be required and to submit the same to the Kolkata Municipal Corporation in our names and on our behalf for obtaining necessary sanction and for that purpose to deposit any fees and also to sign all other necessary papers, documents in respect thereof.
3. To represent us before all concerned authorities including the Kolkata Municipal Corporation for obtaining water connection, drainage and sewerage connection etc., to take New Electric Meter and Service connection from the CESC, or from any other Electric Office/authority concerned as the Joint Owners of the said premises, and in connection with all matters relating thereto for that purposes to sign and execute all necessary papers, applications, forms and documents, as is reasonably required in our names and on our behalf.

4. To make, sign and verify all application, petitions, form, or objection and swear Affidavit and/or Declaration before any Magistrate, Notary Public, Oath Commissioner in connection with the management and development of our aforesaid property in our names and on our behalf.
5. To appoint and dismiss staff and workers and to settle their remuneration and others of the office and to dismiss or suspend them.
6. That our Attorney shall have the right to enter into any Agreement for Sale with any intending Purchaser/Purchasers for sale of Developer's share of Allocation as per terms of the Development Agreement dated 10.08.2018, comprising several flat or flats, space or spaces together with undivided impartible proportionate share or interest in the land at the said premises as morefully and particularly mentioned in the schedule below and to that effect to receive earnest money, any part payment including the entire sale proceeds from the intending Purchaser/Purchasers and to give valid receipts(s) thereof and to discharge for the same and the entire sale proceeds shall be credited in the account of the Developer/Firm and would be solely and exclusively accountable and responsible for the money so received without any liability on the Joint Owners.
7. That our Attorney shall sign and execute all Agreement (s) for Sale, Deed (s) of Conveyance, any Declaration or any other documents as are reasonably required and to admit execution and present all such Agreements, Deeds and Documents, Declaration etc. before the concerned Registration Offices and also to sign and execute all necessary papers and documents related thereto for completion of Registration unto and in favour of such intending Purchaser or Purchasers as mentioned in

para 6 above and to handover and/or deliver possession of the same in our names and on our behalf only in respect of the Developers allocation.

8. That by virtue of this Power of Attorney our said appointed Attorney shall have the absolute right and liberty to sell only the Developer's share of Allocation as per terms of the said Development Agreement or any part thereof at any price or consideration as our said ATTORNEY think fit and better.
9. That our said Attorneys shall make, sign, execute and verify all applications or objections, necessary papers, deeds, documents, Boundary Declaration of the Kolkata Municipal Corporation and to perform all necessary acts and deeds with the Kolkata Municipal Corporation or before any other appropriate authorities concerned for obtaining necessary Licenses, permissions or sanction etc., required by law in connection with the management and/or development of our aforesaid property.
10. That our said Attorney can also issue Letters/Notices and/or admit application and issue no objection in any matter relating to our property to the concerning authority or authorities, i.e. Kolkata Municipal Corporation, Fire Brigade, Land Acquisition Collector, Competent Authority under Urban Land (Ceiling & Regulation) Act, Central and State Government and Local Authorities, WBSEDCL, B.L & L.R.O concerned, Bank any other Govt. or Semi Govt. Office /Authority concerned etc for all purposes relating to development of our said property by constructing a new Building thereon.
11. To institute any case or cases , suit or suits before any Court of Law and/or to defend any such cases or suits in connection with the aforesaid

property, as more fully mentioned in the Schedule below and to that effect appoint, engage on our behalf Pleaders, Lawyers, Advocates or solicitors whenever our said Attorney shall think fit and proper and to discharge and/or terminate his or their appointment and thereby to sign all necessary papers, Vakalatnama, Petitions, Application, Written Statements, Appeal, Motion etc as our said Attorney shall think fit and necessary at his absolute discretion and cost in our names and on our behalf.

AND GENERALLY to do all other acts, deeds, things and matters which is in the opinion of our said Attorney sought to be done and all acts, deeds and things lawfully done by our said Attorney for proper discharge of his contractual obligations shall be construed as acts, deeds and things done by us as if we were present and done the same by ourselves.

AND we do hereby ratify and confirm and agreed all act or acts, deed or deeds of our said Attorney which he shall lawfully do, execute or perform or cause to be done, executed and/or performed in terms of this Power of Attorney.

SCHEDULE AS REFERRED TO ABOVE

All that piece or parcel of land measuring 10 (ten) Cottahs 5 (five) Chittacks more or less together with two storied building measuring 2050 square feet in each floor lying and situated under Mouza Dakshin Ballygunge, Touzi No. 1298 within the District Collectorate of 24 Parganas under Government Khas Mahal Dihi Panchannagram, Grand Division V, Sub Division I, Being Holding No. 123, formerly Thana Ballygunge, Sub Registration Office at formerly Sealdah at present Alipore, known and numbered as Premises No. formerly 14, Dihi Srirampore Lane subsequently 46/9, Ballygunge Place Lane in the records of

The Calcutta Municipality at present renumbered as Premises No. 46/9/1, Ballygunge Place, Police Station Gariahat, Post Office Ballygunge, under Ward No. 68, being Assessee No. 110680402711 within the limits of The Kolkata Municipal Corporation, Kolkata- 700019, in the formerly District of 24 Parganas at present District 24 Parganas South together with all user and easements rights and all rights on path and passages and all other common rights and facilities, appendages and appurtenances attached therein and thereto, which is butted and bounded as follows:-

ON THE NORTH : By 24'-0" feet wide road known as Ballygunge Place,

ON THE SOUTH : By Partly Premises no. 48, and 49, Ballygunge Place.

ON THE EAST : By Premises no. 46/8, Ballygunge Place.

ON THE WEST : By Premises no. 46/9, Ballygunge Place.

IN WITNESS WHEREOF WE, SMT. SUSAMA ROY, SRI. SANJOY ROY, SRI. MRITYUNJOY ROY and SRI. SANJIB ROY as Principals and SRI ARJUN SINGH as a Constituted Attorney have hereunto set and subscribed our respective hands on this the _____ day of August, Two Thousand Eighteen.

SIGNED AND DELIVERED
IN PRESENCE OF:

1.

Susama Roy
(SMT. SUSAMA ROY)

Disha Roy
46/9/1, Ballygunge Place,
Kolkata - 700019.

2. Anurupa Basu
40/7A, Ballygunge Place,
Kolkata - 700019.

Sanjoy Roy
(SRI SANJOY ROY)

Mrityunjoy Roy
(SRI MRITYUNJOY ROY)

Sanjib Roy
(SRI SANJIB ROY)
PRINCIPALS

Arjun Singh
(SRI ARJUN SINGH)
CONSTITUTED ATTORNEY

THIS DEVELOPMENT
POWER OF ATTORNEY
is drafted and prepared by
me at my office:-

Gustam Basu
Advocate, WB/745/80.
Alipore Police Court, Kolkata

ft
ft
ft

Certificate of Registration under section 60 and Rule 69.
Registered in Book - I
Volume number 1605-2018, Page from 171356 to 171379
being No 160505377 for the year 2018.



Digitally signed by MD SHADMAN
Date: 2018.08.20 11:16:49 +05:30
Reason: Digital Signing of Deed.

Shadman

(Md Shadman) 20/08/2018 11:16:22
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. ALIPORE
West Bengal.

(This document is digitally signed.)

Major Information of the Deed

Deed No :	I-1605-05377/2018	Date of Registration	10/08/2018
Query No / Year	1605-1000228098/2018	Office where deed is registered	
Query Date	10/08/2018 2:17:04 PM	A.D.S.R. ALIPORE, District: South 24-Parganas	
Applicant Name, Address & Other Details	NANTU DAS 6 BAKER ROAD, Thana : Alipore, District : South 24-Parganas, WEST BENGAL, PIN - 700027, Mobile No. : 9830244850, Status : Advocate		
Transaction	Additional Transaction		
[0138] Sale, Development Power of Attorney after Registered Development Agreement			
Set Forth value	Market Value		
Rs. 2/-	Rs. 7,51,75,100/-		
Stampduty Paid(SD)	Registration Fee Paid		
Rs. 50/- (Article:48(g))	Rs. 7/- (Article:E)		
Remarks	Development Power of Attorney after Registered Development Agreement of [Deed No/Year]:- 160505369/2018 Received Rs. 50/- (FIFTY only) from the applicant for issuing the assement slip.(Urban area)		

Land Details :

District: South 24-Parganas, P.S:- Gariahat, Corporation: KOLKATA MUNICIPAL CORPORATION, Road: Ballygunge Place, , Premises No. 46/9/1, Ward No: 068






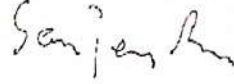


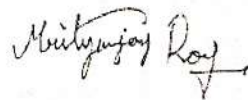
Sch No	Plot Number	Khatian Number	Land Use		Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
			Proposed	ROR				
L1			Bastu		10 Katha 5 Chatak	1/-	7,21,00,100/-	Width of Approach Road: 24 Ft.,
Grand Total :					17.0156Dec	1 /-	721,00,100 /-	

Structure Details :




Sch No	Structure Details	Area of Structure	Setforth Value (In Rs.)	Market value (In Rs.)	Other Details
S1	On Land L1	4100 Sq Ft.	1/-	30,75,000/-	Structure Type: Structure
Gr. Floor, Area of floor : 2050 Sq Ft., Residential Use, Cemented Floor, Age of Structure: 0Year, Roof Type: Pucca, Extent of Completion: Complete					
Floor No: 1, Area of floor : 2050 Sq Ft., Residential Use, Cemented Floor, Age of Structure: 0Year, Roof Type: Pucca, Extent of Completion: Complete					
Total :		4100 sq ft	1 /-	30,75,000 /-	

Major Information of the Deed :- I-1605-05377/2018-10/08/2018

Principal Details :

Sl No	Name,Address,Photo,Finger print and Signature			
1	Name	Photo	Fringorprint	Signature
	Smt Susama Roy Wife of Late Chitta Ranjan Roy Executed by: Self, Date of Execution: 10/08/2018 , Admitted by: Self, Date of Admission: 10/08/2018 ,Place : Office	 10/08/2018	 LTI 10/08/2018	 10/08/2018
46/9/1, Ballygunge Place, P.O:- Ballygunge, P.S:- Gariahat, District:-South 24-Parganas, West Bengal, India, PIN - 700019 Sex: Female, By Caste: Hindu, Occupation: House wife, Citizen of: India, PAN No.:: AJBPR7380J, Status :Individual, Executed by: Self, Date of Execution: 10/08/2018 , Admitted by: Self, Date of Admission: 10/08/2018 ,Place : Office				
2	Name	Photo	Fringorprint	Signature
	Mr Sanjoy Roy Son of Late Chitta Ranjan Roy Executed by: Self, Date of Execution: 10/08/2018 , Admitted by: Self, Date of Admission: 10/08/2018 ,Place : Office	 10/08/2018	 LTI 10/08/2018	 10/08/2018
46/9/1, Ballygunge Place, P.O:- Ballygunge, P.S:- Gariahat, District:-South 24-Parganas, West Bengal, India, PIN - 700019 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: AJBPR7379D, Status :Individual, Executed by: Self, Date of Execution: 10/08/2018 , Admitted by: Self, Date of Admission: 10/08/2018 ,Place : Office				
3	Name	Photo	Fringorprint	Signature
	Mr Mrityunjoy Roy Son of Late Chitta Ranjan Roy Executed by: Self, Date of Execution: 10/08/2018 , Admitted by: Self, Date of Admission: 10/08/2018 ,Place : Office	 10/08/2018	 LTI 10/08/2018	 10/08/2018
46/9/1, Ballygunge Place, P.O:- Ballygunge, P.S:- Gariahat, District:-South 24-Parganas, West Bengal, India, PIN - 700019 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: ADUPR9265M, Status :Individual, Executed by: Self, Date of Execution: 10/08/2018 , Admitted by: Self, Date of Admission: 10/08/2018 ,Place : Office				










Major Information of the Deed :- I-1605-05377/2018-10/08/2018

Name	Photo	Fingerprint	Signature
Mr Sanjib Roy Son of Late Chitta Ranjan Roy Executed by: Self, Date of Execution: 10/08/2018 , Admitted by: Self, Date of Admission: 10/08/2018 ,Place : Office	 10/08/2018	 LTI 10/08/2018	 10/08/2018
46/9/1, Ballygunge Place, P.O:- Ballygunge, P.S:- Gariahat, District:-South 24-Parganas, West Bengal, India, PIN - 700019 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: AJPBR7382L, Status :Individual, Executed by: Self, Date of Execution: 10/08/2018 , Admitted by: Self, Date of Admission: 10/08/2018 ,Place : Office			


Attorney Details :

SI No	Name,Address,Photo,Finger print and Signature
1	Griho Nirman Associates 82/7H, Ballygunge Place, P.O:- Ballygunge, P.S:- Gariahat, District:-South 24-Parganas, West Bengal, India, PIN - 700019 , PAN No.:: AAFFG9883N, Status :Organization, Executed by: Representative

Representative Details :

SI No	Name,Address,Photo,Finger print and Signature								
1	<table border="1"> <thead> <tr> <th>Name</th> <th>Photo</th> <th>Finger Print</th> <th>Signature</th> </tr> </thead> <tbody> <tr> <td> Mr Arjun Singh (Presentant) Son of Late Shyamji Singh Date of Execution - 10/08/2018, , Admitted by: Self, Date of Admission: 10/08/2018, Place of Admission of Execution: Office </td> <td>  Aug 10 2018 2:57PM </td> <td>  LTI 10/08/2018 </td> <td>  10/08/2018 </td> </tr> </tbody> </table>	Name	Photo	Finger Print	Signature	Mr Arjun Singh (Presentant) Son of Late Shyamji Singh Date of Execution - 10/08/2018, , Admitted by: Self, Date of Admission: 10/08/2018, Place of Admission of Execution: Office	 Aug 10 2018 2:57PM	 LTI 10/08/2018	 10/08/2018
Name	Photo	Finger Print	Signature						
Mr Arjun Singh (Presentant) Son of Late Shyamji Singh Date of Execution - 10/08/2018, , Admitted by: Self, Date of Admission: 10/08/2018, Place of Admission of Execution: Office	 Aug 10 2018 2:57PM	 LTI 10/08/2018	 10/08/2018						
82/8A, Ballygunge Place, P.O:- Ballygunge, P.S:- Gariahat, District:-South 24-Parganas, West Bengal, India, PIN - 700019, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: ASQPS8610L Status : Representative, Representative of : Griho Nirman Associates (as PARTNER)									

Identifier Details :

Name & address
Mr Nantu Das Son of Late S Das Alipore Police Court, P.O:- Alipore, P.S:- Alipore, Kolkata, District:-South 24-Parganas, West Bengal, India, PIN - 700027, Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of: India, , Identifier Of Smt Susama Roy, Mr Sanjoy Roy, Mr Mrityunjoy Roy, Mr Sanjib Roy, Mr Arjun Singh
 10/08/2018

Major Information of the Deed :- I-1605-05377/2018-10/08/2018

Transfer of property for L1

Sl.No	From	To. with area (Name-Area)
1	Smt Susama Roy	Griho Nirman Associates-4.25391 Dec
2	Mr Sanjoy Roy	Griho Nirman Associates-4.25391 Dec
3	Mr Mrityunjoy Roy	Griho Nirman Associates-4.25391 Dec
4	Mr Sanjib Roy	Griho Nirman Associates-4.25391 Dec

Transfer of property for S1

Sl.No	From	To. with area (Name-Area)
1	Smt Susama Roy	Griho Nirman Associates-1025.00000000 Sq Ft
2	Mr Sanjoy Roy	Griho Nirman Associates-1025.00000000 Sq Ft
3	Mr Mrityunjoy Roy	Griho Nirman Associates-1025.00000000 Sq Ft
4	Mr Sanjib Roy	Griho Nirman Associates-1025.00000000 Sq Ft

Endorsement For Deed Number : I - 160505377 / 2018

On 10-08-2018

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 48 (g) of Indian Stamp Act 1899.

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)

Presented for registration at 14:00 hrs on 10-08-2018, at the Office of the A.D.S.R. ALIPORE by Mr Arjun Singh .

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 7,51,75,100/-

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 10/08/2018 by 1. Smt Susama Roy, Wife of Late Chitta Ranjan Roy, 46/9/1, Ballygunge Place, P.O: Ballygunge, Thana: Gariahat, , South 24-Parganas, WEST BENGAL, India, PIN - 700019, by caste Hindu, by Profession House wife, 2. Mr Sanjoy Roy, Son of Late Chitta Ranjan Roy, 46/9/1, Ballygunge Place, P.O: Ballygunge, Thana: Gariahat, , South 24-Parganas, WEST BENGAL, India, PIN - 700019, by caste Hindu, by Profession Business, 3. Mr Mrityunjoy Roy, Son of Late Chitta Ranjan Roy, 46/9/1, Ballygunge Place, P.O: Ballygunge, Thana: Gariahat, , South 24-Parganas, WEST BENGAL, India, PIN - 700019, by caste Hindu, by Profession Business, 4. Mr Sanjib Roy, Son of Late Chitta Ranjan Roy, 46/9/1, Ballygunge Place, P.O: Ballygunge, Thana: Gariahat, , South 24-Parganas, WEST BENGAL, India, PIN - 700019, by caste Hindu, by Profession Business

Indetified by Mr Nantu Das, , Son of Late S Das, Alipore Police Court, P.O: Alipore, Thana: Alipore, , City/Town: KOLKATA, South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Others

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 10-08-2018 by Mr Arjun Singh, PARTNER, Griho Nirman Associates, 82/7H, Ballygunge Place, P.O:- Ballygunge, P.S:- Gariahat, District:-South 24-Parganas, West Bengal, India, PIN - 700019

Indetified by Mr Nantu Das, , Son of Late S Das, Alipore Police Court, P.O: Alipore, Thana: Alipore, , City/Town: KOLKATA, South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Others

Major Information of the Deed :- I-1605-05377/2018-10/08/2018

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 7/- (E = Rs 7/-) and Registration Fees paid by Cash Rs 7/-

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 50/- and Stamp Duty paid by Stamp Rs 50/-
Description of Stamp

1. Stamp: Type: Impressed, Serial no 89810, Amount: Rs.50/-, Date of Purchase: 09/08/2018, Vendor name: A K Maity



Md Shadman
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. ALIPORE
South 24-Parganas, West Bengal

Major Information of the Deed :- I-1605-05377/2018-10/08/2018

INCOME TAX DEPARTMENT
GOVT. OF INDIA

SUSAMA ROY
SATISH CHANDRA BAIJYA

06/05/1945
Permanent Account Number

AJBPR7380J

Susama Roy
Signature







Susama Roy

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

SANJOY ROY
CHITTARANJAN ROY
07/08/1960
Permanent Account Number
AJBPR7379D

Sanjoy Roy
Signature



Sanjoy Roy

रथाई लेखा संख्या /PERMANENT ACCOUNT NUMBER

ADUPR9265M



नाम /NAME
MRITYUNJOY ROY

पिता का नाम /FATHER'S NAME
CHITTARANJAN ROY

जन्म तिथि /DATE OF BIRTH
10-02-1968

हस्ताक्षर /SIGNATURE

Mrityunjoy Roy

B. Das

आयकर आयुक्त, प.ब.-III

COMMISSIONER OF INCOME-TAX, W.B. - III

Mrityunjoy Roy

इस कार्ड के खो / मिल जाने पर कृपया जारी करने
वाले प्राधिकारी को सूचित / वापस कर दें
संयुक्त आयकर आयुक्त(पद्धति एवं तकनीकी),
पी-7,
चौरंगी स्क्वायर,
कलकत्ता - 700 069.

In case this card is lost/found, kindly inform/return to
the issuing authority :
Joint Commissioner of Income-tax(Systems & Technical),
P-7,
Chowringhee Square,
Calcutta- 700 069.

Mrityunjoy Roy

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

SANJIB ROY

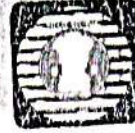
CHITTARANJAN ROY

01/05/1970

Permanent Account Number

AJBPR7382L

Sanjib Roy
Signature



Sanjib Roy

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

ARJUN SINGH

SHYAMJI SINGH

25/12/1966
Permanent Account Number
ASQPS8610L

Arjun Singh
Signature

28/10/2010



Arjun Singh

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

GRIHO NIRMAN ASSOCIATES



16/01/2004
Permanent Account Number

AAFFG9883N

30032005

GRIHO NIRMAN ASSOCIATES

Partner

GRIHO NIRMAN ASSOCIATES

Partner

SPECIMEN FORM FOR TEN FINGERPRINTS



Susama Roy

	LITTLE FINGER	RING FINGER	MIDDLE FINGER	FORE FINGER	THUMB
LEFT HAND					
	THUMB	FORE FINGER	MIDDLE FINGER	RING FINGER	LITTLE FINGER
RIGHT HAND					

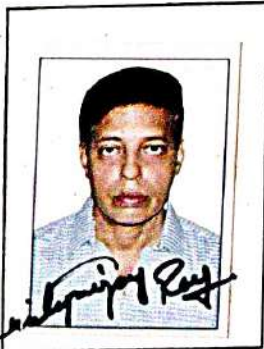
Signature Susama Roy



Sanjay Roy

	LITTLE FINGER	RING FINGER	MIDDLE FINGER	FORE FINGER	THUMB
LEFT HAND					
	THUMB	FORE FINGER	MIDDLE FINGER	RING FINGER	LITTLE FINGER
RIGHT HAND					

Signature Sanjay Roy



Mityunjay Roy

	LITTLE FINGER	RING FINGER	MIDDLE FINGER	FORE FINGER	THUMB
LEFT HAND					
	THUMB	FORE FINGER	MIDDLE FINGER	RING FINGER	LITTLE FINGER
RIGHT HAND					

Signature Mityunjay Roy

SPECIMEN FORM FOR TEN FINGERPRINTS



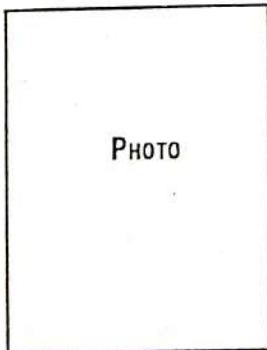
	LITTLE FINGER	RING FINGER	MIDDLE FINGER	FORE FINGER	THUMB
LEFT HAND					
	THUMB	FORE FINGER	MIDDLE FINGER	RING FINGER	LITTLE FINGER
RIGHT HAND					

Signature Sanyal R



	LITTLE FINGER	RING FINGER	MIDDLE FINGER	FORE FINGER	THUMB
LEFT HAND					
	THUMB	FORE FINGER	MIDDLE FINGER	RING FINGER	LITTLE FINGER
RIGHT HAND					

Signature Anur K



	LITTLE FINGER	RING FINGER	MIDDLE FINGER	FORE FINGER	THUMB
LEFT HAND					
	THUMB	FORE FINGER	MIDDLE FINGER	RING FINGER	LITTLE FINGER
RIGHT HAND					

Signature _____